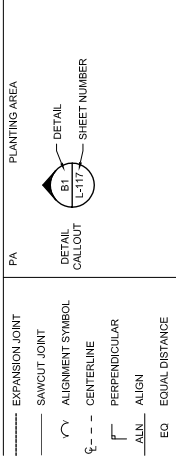


CONSTRUCTION LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER / MODEL	COLOR / FINISHES / REMARKS	DETAIL	SHEET
	NATURAL CONCRETE PAVING	-	NATURAL GREY / MEDIUM BROOM FINISH	A, B	L-1.5
	INTERLOCKING PAVERS	BELGARD / AQUA ROC	*SRI VICTORIAN BLEND / 80mm / 4.5" x 9" REFER TO PLAN FOR PATTERN / INSTALL PER MANUFACTURERS RECOMMENDATIONS / AVAILABLE AT THOMPSON BUILDING MATERIALS	C	L-1.5
	ANGULAR COBBLE	SOUTHWEST BOULDER	BAJA CRESTA / 4" - 8" INFILL WITH CRUSHED ROCK / OR APPROVED EQUAL	D, E A	L-1.5 L-1.7
	CRUSHED ROCK	SOUTHWEST BOULDER	DESERT GOLD / 3/4" SCREENED / 3" DEPTH / OR APPROVED EQUAL	D, E	L-1.5
	NON-STABILIZED DECOMPOSED GRANITE	KRC ROCK, INC.	NEW CALIFORNIA GOLD / 3/8" MINUS / 3" DEPTH	D, E	L-1.5
	GRAVITY RETAINING WALL	KEYSTONE / STANDARD - STRAIGHT SPLIT	KEYSTONE NATURAL WITH KEYSTONE STRAIGHT WALL CAP - 4" HIGH	B	L-1.7
	STEEL EDGING	SURE-LOC	1/8" / STEEL EDGING / PAINTED BLACK / INSTALL PER MANUFACTURERS RECOMMENDATIONS / OR APPROVED EQUAL	E	L-1.5
	RAINWATER TANK	BUSHMAN USA	530 GALLON SUBLINE WATER HARVESTING TANK / COLOR PER OWNER	A, B	L-1.6
	METAL GARDEN BED	EARTHMARK / ALTO SERIES	SQUARE BED (MGB-L043) WITH ALTO EXTENSION SET (MGB-H044) / 17" X 40" X 70" / INSTALL PER MANUFACTURERS RECOMMENDATIONS	-	-

CONSTRUCTION KEY:



GENERAL NOTES

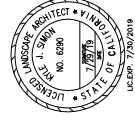
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE TECHNICAL MANUAL AND ALL OTHER APPLICABLE CITY AND REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION.
- EXCEPT AS OTHERWISE INDICATED, THE CONTRACTOR SHALL COMPLY WITH THE CITY OF SAN DIEGO LANDSCAPE TECHNICAL MANUAL AND ALL OTHER APPLICABLE EDITIONS OF THE REGIONAL AND CITY OF SAN DIEGO SUPPLEMENT AMENDMENTS TO THE CITY OF SAN DIEGO LANDSCAPE TECHNICAL MANUAL AND ALL OTHER APPLICABLE UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE FOR CONCRETE FLATWORK. ALL FLAT WORK SHALL DRAIN AWAY FROM STRUCTURES AT A MINIMUM OF ONE HALF PERCENT (0.5%) OR AS INDICATED ON CIVIL ENGINEERS DRAWINGS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB AND FACE OF WALL UNLESS INDICATED OTHERWISE.
- EXPANSION JOINTS WITH SEALANT SHALL BE INSTALLED WHERE PAVING ABUTS WALLS, COLUMNS, CURBS, OR RAMPS AND WHERE SHOWN ON THE DRAWINGS.
- FINISH GRADE SHALL BE THREE INCHES (3") BELOW CONCRETE FLAT WORK FOR BARK MULCH AND COBBLE AREAS. COBBLE SURFACE SHALL BE FLUSH WITH ADJACENT SURFACE.
- PAVING - CONTRACTORS SHALL PROVIDE 5% MOCK-UP PANELS FOR ALL PAVING MATERIALS AND COLORS FOR APPROVAL OF LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PAVING. MOCK-UP PANEL SHALL INCLUDE PAVING MATERIAL, GROUT, AND SEALANT (AS APPLICABLE).
- NO PROPOSED IMPROVEMENTS PENDING EMIRK-APPROVAL.

MINIMUM STREET TREE SEPARATION DISTANCES:

- INTERSECTIONS.....25 FEET
- DRIVEWAYS.....10 FEET
- SEWER LATERALS.....10 FEET
- FRONT OF TRAFFIC SIGNAL, STOP SIGN.....20 FEET
- BACK OF TRAFFIC SIGNAL, STOP SIGN.....10 FEET
- UNDERGROUND UTILITY LINES.....5 FEET
- ABOVE GROUND UTILITY STRUCTURES.....10 FEET
- STREET LIGHTS.....15 FEET

MANUFACTURER PHONE NUMBERS:

- BELGARD: (844) 465-8210
- BUSHMAN USA: (866) 920-8265
- EARTHMARK: (619) 262-0666
- KEYSTONE: (609) 747-6971
- KRC ROCK: (800) 572-7625
- SOUTHWEST BOULDER: (619) 591-2386
- SURE-LOC: (800) 787-3562
- THOMPSON BUILDING MATERIALS: (619) 287-3410



PROJECT: LAYLA COURT - SDHC SINGLE FAMILY HOME
 ADDRESS: 4259 LAYLA COURT, SAN DIEGO, CA 92124
 DESCRIPTION: SCHEMATIC ADU AND LANDSCAPE

REVISIONS
 DESIGN REVIEW:
 PLAN CHECK:
 RESPONSE:
 RESPONSE:

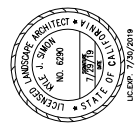
ISSUE DATE: 5/01/2018

LANDSCAPE
 CONSTRUCTION
 LEGEND AND NOTES

SHEET NUMBER

L-1.1





PROJECT: LAYLA COURT - SDHC SINGLE FAMILY HOME
 ADDRESS: 4259 LAYLA COURT, SAN DIEGO CA 92154
 DESCRIPTION: SCHEMATIC ADU AND LANDSCAPE

REVISIONS:
 DESIGN REVIEW:
 PLAN CHECK:
 RESPONSE:
 RESPONSE:
 RESPONSE:
 ISSUE DATE: 5/01/2018

SCHEMATIC SITE
 ARCHITECTURAL PLAN

SHEET NUMBER

L-1.2

WORK TO BE DONE

- THIS IS A GENERAL LIST, THE CONSTRUCTION DOCUMENTS AS A WHOLE, CONSTITUTE THE FULL SCOPE OF WORK. PROPOSED WORK INCLUDES CONSTRUCTION OF THE FOLLOWING:
- CONSTRUCTION OF ACCESSORY DWELLING UNIT, 500 SF
 - CONSTRUCTION OF WATER MANAGEMENT
 - SITE PAVING
 - SITE FENCE AND GATE
- DEFERRED SUBMITTALS:
- NONE

CODES, STANDARDS, SPECIFICATIONS

GOVERNING CODES:
 2016 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, Part 1, Title 24 CCR
 2016 CALIFORNIA ELECTRICAL CODE (CEC), Part 3, Title 24 CCR
 2016 CALIFORNIA MECHANICAL CODE (CMC), Part 4, Title 24 CCR
 2016 CALIFORNIA MECHANICAL CODE (CMC), Part 5, Title 24 CCR
 2016 CALIFORNIA PLUMBING CODE (LPC), Part 5, Title 24 CCR
 2016 CALIFORNIA FIRE CODE (FC), Part 6, Title 24 CCR
 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen), Part 11, Title 24 CCR
 2016 CALIFORNIA REFERENCED STANDARDS, Part 12, Title 24 CCR
 Title 19 CCR, Public Safety, State Fire Marshal Regulations

APPLICABLE STANDARDS:
 2016 CBC, CHAPTER 35, APPLICABLE STANDARDS LISTED
 AMERICANS WITH DISABILITIES ACT TITLE II, REGULATIONS 28 CFR PART 35, 2010 ADA
 STANDARDS FOR ACCESSIBLE DESIGN

BUILDING DATA - COMPANION UNIT

CALIFORNIA BUILDING CODE	
EDITION:	2016
OCCUPANCY GROUP:	R-3
CONSTRUCTION TYPE:	V-B(NS)
MAX STORIES ALLOWED:	3
MAX HEIGHT ALLOWED (SDMC):	40 FEET LIMITED TO 30 BY SDMC
MAX HEIGHT ALLOWED (CMC):	30 FEET (24/30 PER SDMC 131.0444(b))
ACTUAL HEIGHT:	XX FEET
MAX FLOOR AREA ALLOWED:	UNLIMITED, LIMITED BY MAX F.A.R.
DESIGN OCCUPANT LOAD:	11 OCCUPANTS (200 GROSS PER TABLE 1004.1.2)
EXIT ACCESS TRAVEL DISTANCE:	200 FEET MAX
SPRINKLERED:	NO
ALARM SYSTEM:	NO
PORTABLE FIRE EXTINGUISHERS:	YES
FIRE RESISTANCE RATING FOR BUILDING ELEMENTS	
STRUCTURAL FRAME:	0 HR
BEARING WALLS:	0 HR
NON-BEARING WALLS, INTERIOR:	0 HR
FLOOR CONSTRUCTION:	0 HR
ROOF CONSTRUCTION:	0 HR
EXTERIOR WALL FIRE RESISTANCE BASED ON FIRE SEPARATION DISTANCE	
X ≥ 5 FEET	= 1 HR
5 ≤ X < 10 FEET	= 0 HR
10 ≤ X < 30 FEET	= 0 HR
X ≥ 30 FEET	= 0 HR
ACCESSIBILITY	
NOT APPLICABLE, SINGLE FAMILY USE	
HAZARDOUS MATERIALS	
NOT APPLICABLE	
NOTES	
1, ...	

PROJECT DATA

PROJECT ADDRESS:
 4259 LAYLA COURT
 SAN DIEGO, CA 92154

APN:
 631-240-2040

LEGAL DESCRIPTION:
 MAP 6681, LOT 1250 OF PRINCESS DEL SOL UNIT 13
 SUBDIVISION

ZONING:
 RS-1.7

OVERLAYS:
 AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE
 AIRPORTS: AIRPORT INFLUENCE AREA
 AIRPORTS: FAA PART 77 NOTICING AREA

GEOLOGIC HAZARD:
 FEMA FLOOD ZONE:
 FLOOD ZONE X

EXISTING USE:
 SINGLE FAMILY RESIDENCE WITH ACCESSORY
 DWELLING UNIT (ADU)

PROPOSED USE:
 SINGLE FAMILY RESIDENCE

SITE AREA:
 7,150 SF (0.16 ACRES)

EXISTING BUILDING AREA:
 1,654 SF

F.A.R.:
 0.23

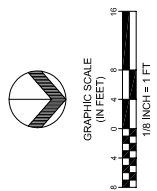
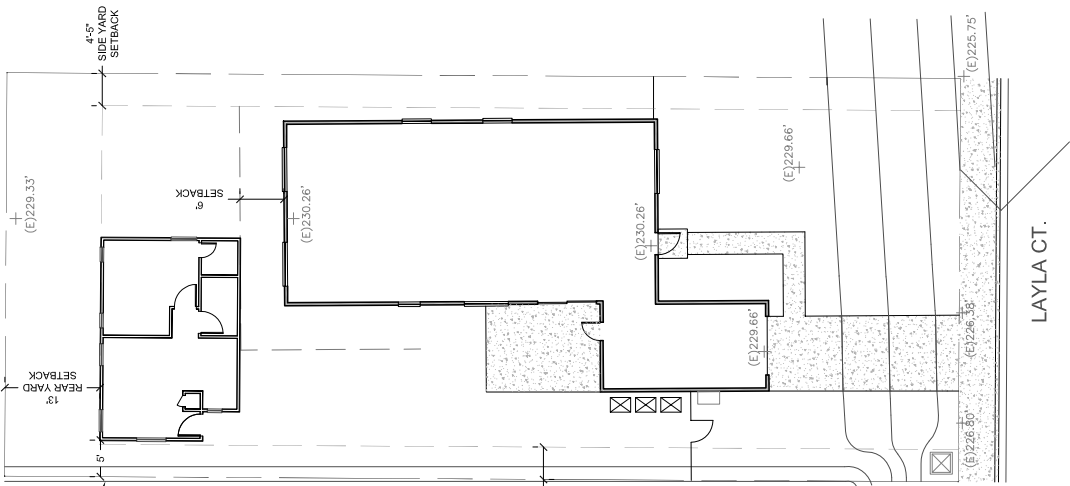
MAX F.A.R.:
 0.37 (per SDMC 131.0446 Table 131-040)

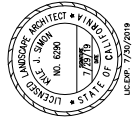
EXISTING BUILDING COVERAGE: 1,654 SF
 NEW COMPANION UNIT: 500 SF
 PROPOSED BUILDING COVERAGE: 2,154 SF

LANDSCAPE AREA:
 EXISTING: 5017 SF
 PROPOSED: 0 SF
 TOTAL: 5017 SF
 IMPERVIOUS: 265 SF

SETBACKS:
 REAR (STREET): 15 FEET
 SIDE YARD: 3'-0" (0.08 x lot width per SDMC Table 131-04D)
 REAR YARD: 13 FEET

PARKING:
 ON-SITE:
 OFF-SITE: 2 SPACES
 1 SPACE ON STREET FRONTING PROPERTY





PROJECT: LAYLA COURT - SDHC SINGLE FAMILY HOME
 ADDRESS: 4259 LAYLA COURT, SAN DIEGO CA, 92154
 DESCRIPTION: SCHEMATIC ADU AND LANDSCAPE

REVISIONS
 DESIGN REVIEW:
 PLAN CHECK
 RESPONSE:
 RESPONSE:

ISSUE DATE: 5/01/2018

LANDSCAPE
 CONSTRUCTION PLAN

SHEET NUMBER

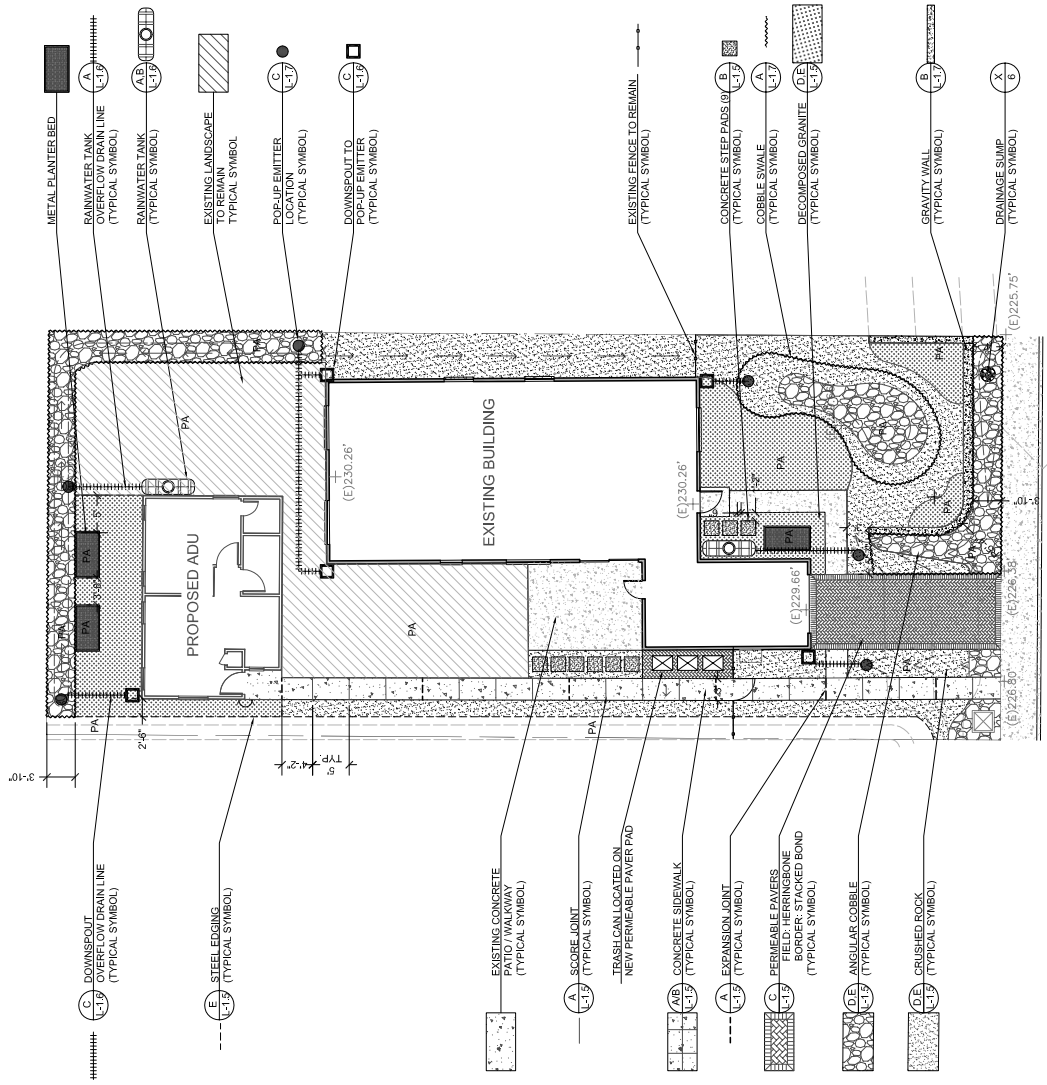
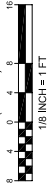
L-1.4

CONSTRUCTION KEY:

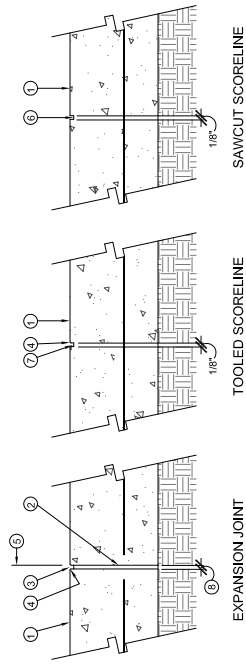
- PA PLANTING AREA
- EXPANSION JOINT
- SCORE JOINT
- DETAIL CALLOUT
- ALIGNMENT SYMBOL
- CENTERLINE
- 90° ANGLE
- EQ EQUAL DISTANCE
- ALN ALIGN



GRAPHIC SCALE
 (IN FEET)

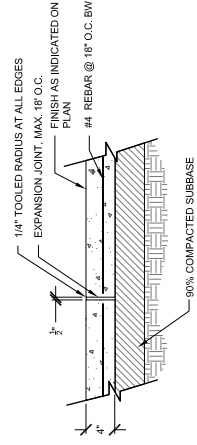


LAYLA CT.



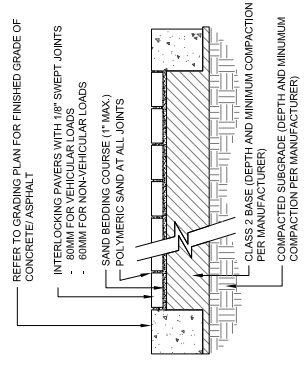
- EXPANSION JOINT**
- 1 PAVING PER PLAN - TYPE AND FINISH PER PLAN
 - 2 FIBER EXPANSION JOINT MATERIAL
 - 3 SEALANT-VULCAN OR EQUIVALENT (COLOR SHALL MATCH CONCRETE)
 - 4 1/4" RADIUS, TYPICAL
- TOOLED SCORELINE**
- 5 FACE OF WALL OR CURB - WHERE OCCURS
 - 6 1/2" DEEP SAWCUT
 - 7 1/2" DEEP TOOLED SCORELINE
 - 8 3/8" (PEDESTRIAN ACCENT PAVING)
 - 9 1/2" (DRIVEWAY PAVING)
- SAWCUT SCORELINE**
1. REFER TO PLAN FOR LOCATIONS
 2. EXPANSION JOINTS TO BE AS SHOWN PER PLAN BETWEEN BACK OF CURB AND COLUMNS ADJACENT TO BUILDING
 3. TOOLED SCORELINES TO BE AT 5' INTERVALS UNLESS OTHERWISE NOTED.

A TYPICAL CONCRETE JOINTS
 NOT TO SCALE

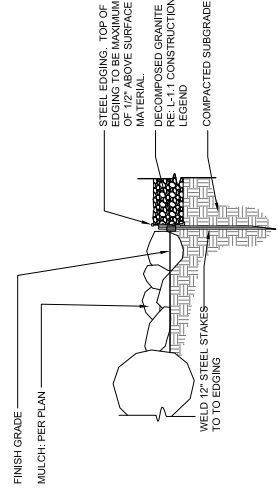


- NOTES:**
1. REFER TO LANDSCAPE CONSTRUCTION LEGEND FOR CONCRETE COLOR AND FINISH.
 2. REFER TO LANDSCAPE CONSTRUCTION PLANS FOR LOCATIONS OF EXPANSION AND SAWCUT SCORE JOINTS.
 3. CONTROL AND SCORE JOINTS.
 4. SUBGRADE PREPARATION SHALL BE DONE AS RECOMMENDED BY TEST LAB AND IN ACCORDANCE WITH SECTION 801.4 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).

B CONCRETE PAVING DETAIL
 SCALE: 1-1/2" = 1'-0"

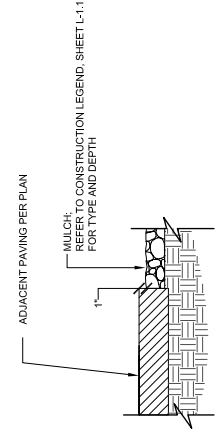


C INTERLOCKING PAVING
 SCALE: 3/4" = 1'-0"

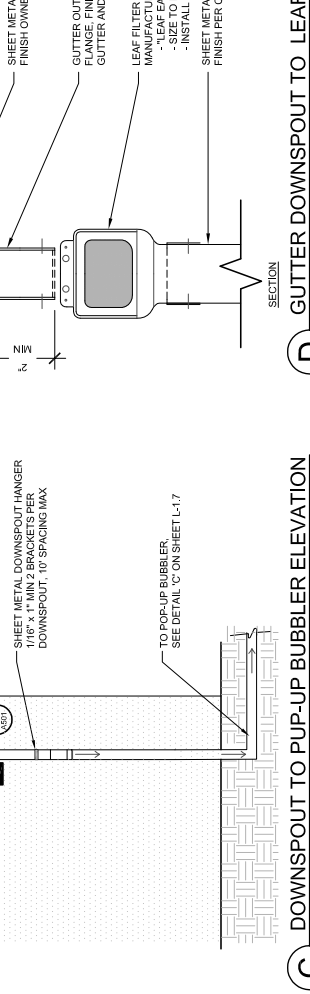
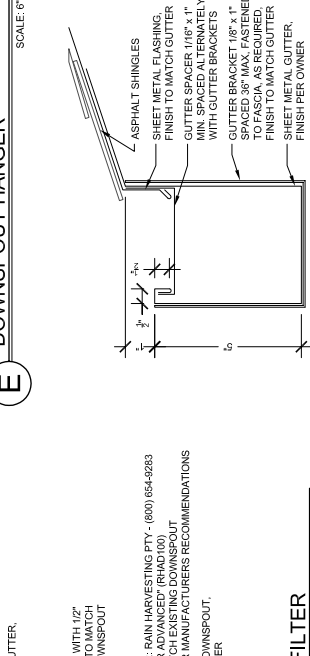
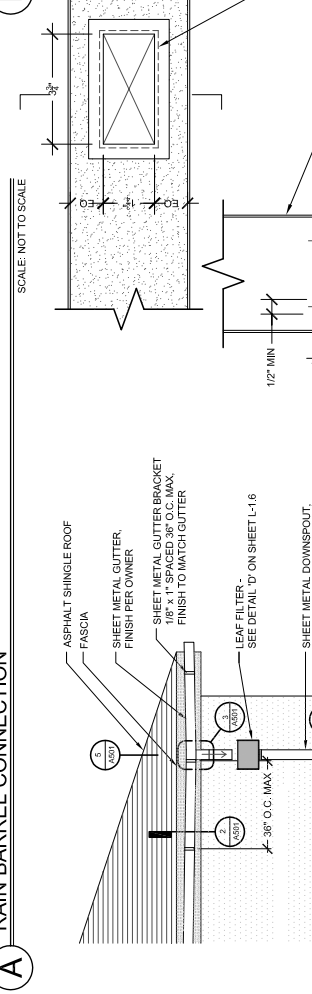
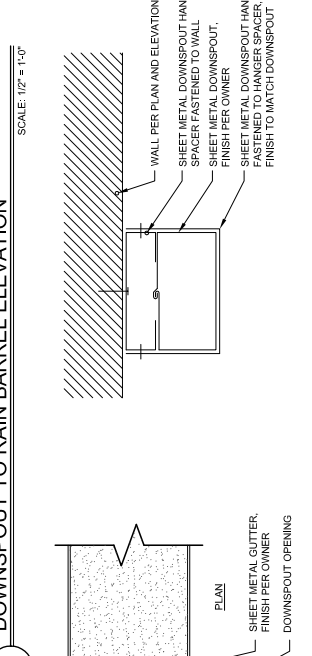
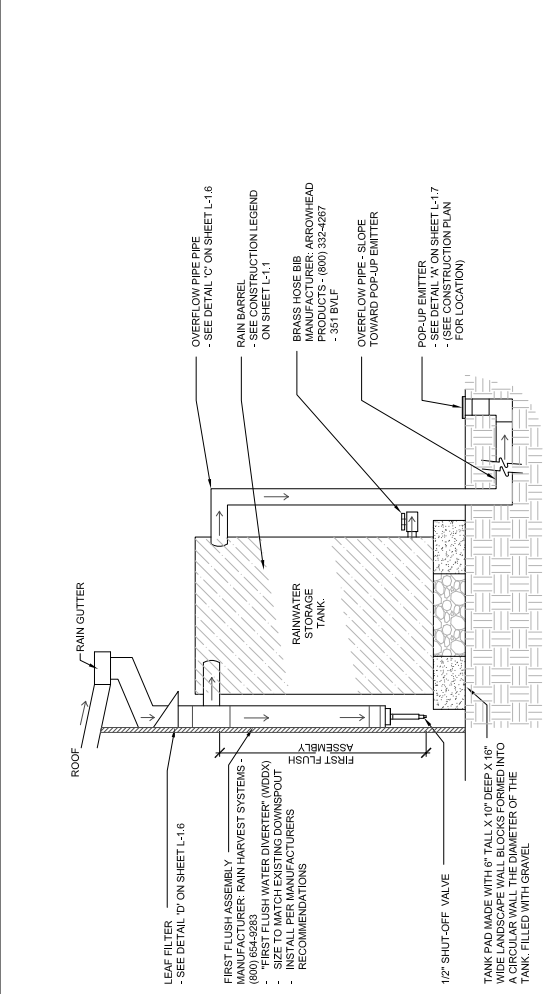
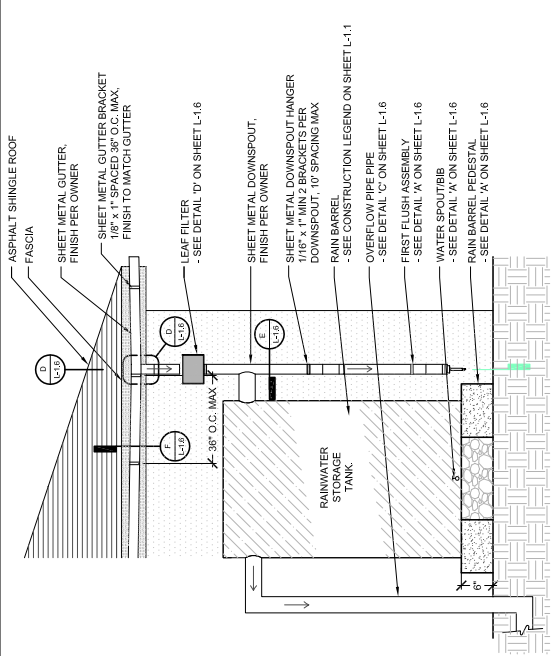


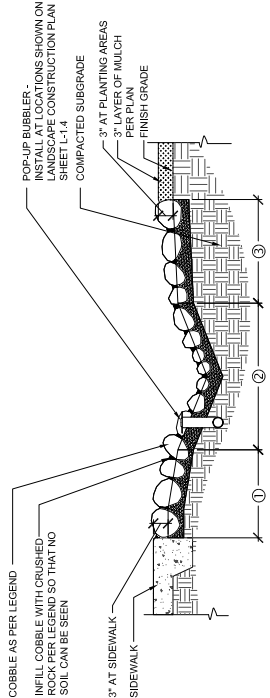
- NOTE:**
1. EDGING SHALL BE INSTALLED 3/4" FLAT BAR STEEL (20' LENGTH) AVAILABLE AT HARDY METAL MART (619) 474-3375. EDGING TO BE RADIUS PER PLAN.

E STEEL EDGING
 SCALE: 2" = 1'-0"



D MULCH AT HARDSCAPE
 SCALE: 1-1/2" = 1'-0"





- NOTES:**
1. REFER TO SHEET L-1.3 FOR GRADING (TYP).
 2. MULCH BETWEEN SWALE AND HARDSCAPE: WIDTH VARIES. REFER TO LANDSCAPE DRAWINGS FOR LOCATION AND TYPE.
 3. COBBLE IN SWALE: REFER TO SHEET L-1.3 FOR GRADING, LOCATION, WIDTH AND FLOW-LINE.
 4. FINISHED COBBLE SURFACE SHALL BE RELATIVELY UNIFORM AND SHALL NOT VARY MORE THAN 2" FROM COBBLE TO COBBLE.
 5. SMALLER COBBLE SHALL BE USED AT THE LOW POINT OF THE SWALE AND LARGER COBBLE SHALL BE PLACED TOWARD THE EDGES (AS SHOWN). AN EVEN GRADATION SHALL BE PROVIDED BETWEEN THE SMALLER AND LARGER COBBLE.
 6. SWALE SHALL BE PLACED WITH SURFACE OF COBBLE FLUSH WITH SURFACE OF SIDEWALK TO MINIMIZE POTENTIAL FOR TRIPPING.
 7. CONTRACTOR SHALL PROVIDE A 5'x5' REFERENCE PANEL FOR APPROVAL BY THE LANDSCAPE ARCHITECT. REFERENCE PANEL MAY BE INCORPORATED INTO FINAL WORK IF ACCEPTED.
 8. FOR LOCATIONS OF POP-UP EMITTER REFER TO LANDSCAPE CONSTRUCTION PLAN L-1.4

A COBBLE SWALE

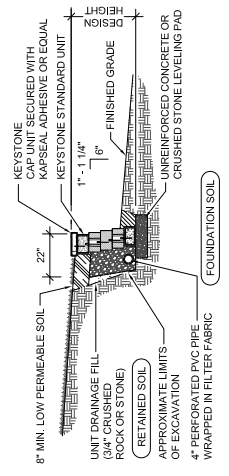
SCALE: 1" = 1'-0"



COBBLE SWALE DESIGN INTENT

NOTE

- A. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR ALL WALL INSTALLATION.
- B. KEYSTONE - 1-600CH-48971
- C. APPROVE COLOR AND BLOCK SIZE PRIOR TO DELIVERY.

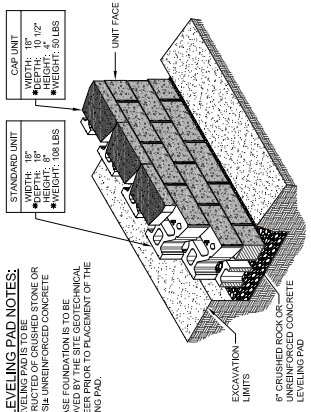


TYPICAL GRAVITY WALL SECTION

STANDARD UNIT - 1" SETBACK

B GRAVITY WALL

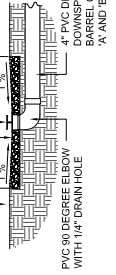
- BASE LEVELING PAD NOTES:**
1. CONSTRUCTED OF CRUSHED STONE OR 2,000 PSI UNREINFORCED CONCRETE
 2. THE BASE FOUNDATION IS TO BE APPROVED BY THE SITE GEOLOGICAL ENGINEER TO FACILITATE THE PLACEMENT OF THE LEVELING PAD.



STANDARD UNIT/BASE PAD ISOMETRIC SECTION VIEW

* DIMENSIONS & WEIGHT MAY VARY BY REGION

SCALE: NOT TO SCALE



C POP-UP DRAINAGE DETAIL

SCALE: NOT TO SCALE



PROJECT: LAYLA COURT - SDHC SINGLE FAMILY HOME
 ADDRESS: 4259 LAYLA COURT, SAN DIEGO CA 92154
 DESCRIPTION: SCHEMATIC ADU AND LANDSCAPE

REVISIONS
 DESIGN REVIEW:
 PLAN CHECK:
 RESPONSE:
 RESPONSE:

ISSUE DATE: 5/01/2018

LANDSCAPE CONSTRUCTION DETAILS

SHEET NUMBER

L-1.7



PLANT MATERIAL LEGEND

GRAPHIC SYMBOL	SYMBOL	BOTANICAL NAME	COMMON NAME	QUANT	MATURE HEIGHT & SPREAD	SIZE	MINIMUM HEIGHT & SPREAD	WATER REQUIREMENTS (WUCOLS)	REMARKS	DETAIL	SHEET
TREES											
	CHI. LIN.	CHILOPSIS LINEARIS 'BUBBA'	DESERT WILLOW	2	25' X 25'	15 GAL	6' X 3'	VERY LOW	MULTI TRUNK LOW BRANCHING, FULL HEAD, GOOD FORM, GOOD CALIPER, STAKE	A	L-3.3
	CIT. BEA.	CITRUS AURANTIFOLIA 'BEARSS'	BEARSS SEEDLESS LIME	1	20' X 20'	15 GAL	4' X 4'	MEDIUM	STANDARD STRAIGHT TRUNK, FULL HEAD, GOOD CALIPER, STAKE	A	L-3.3
	CIT. MEY.	CITRUS LIMON 'MEYER'	MEYERS LEMON	1	15' X 15'	15 GAL	4' X 4'	MEDIUM	STANDARD STRAIGHT TRUNK, FULL HEAD, GOOD CALIPER, STAKE	A	L-3.3
	CIT. RET.	CITRUS RETICULATA	MANDARIN ORANGE	1	15' X 12'	15 GAL	4' X 4'	MEDIUM	STANDARD STRAIGHT TRUNK, FULL HEAD, GOOD CALIPER, STAKE	A	L-3.3
SHRUBS											
	AGA. AME.	AGAVE AMERICANA 'MARGINATA'	VARIEGATED CENTURY PLANT	2	6' X 7'	15 GAL	2' X 3'	VERY LOW	FULL CLUMPS, VIGOROUS	B	L-3.3
	AGA. ATT.	AGAVE ATTENUATA	FOX TAIL AGAVE	15	3' X 4'	1 GAL	12" X 10"	LOW	FULL FORM AND COLOR, VIGOROUS	B	L-3.3
	ALO. VER.	ALOE VERA	MEDICINAL ALOE	8	3' X 2'	1 GAL	10" X 10"	LOW	FULL CLUMPS, GOOD COLOR, VIGOROUS	B	L-3.3
	JUN. PAT.	JUNIPERUS PATENS 'ELK BLUE'	CALIFORNIA RUSH	17	2' X 2'	1 GAL	8" X 8"	LOW	FULL CLUMPS, GOOD COLOR, VIGOROUS	B	L-3.3
	MUH. RIG.	MUHLENBERGIA RIGENS	DEER GRASS	23	4' X 4'	1 GAL	10" X 10"	LOW	FULL CLUMPS, GOOD COLOR, VIGOROUS	B	L-3.3
	YUC. FIL.	YUCCA FILAMENTOSA	ADAMS NEEDLE	5	3' X 3'	5 GAL	16" X 12"	VERY LOW	FULL FORM AND COLOR, VIGOROUS	B	L-3.3
GROUNDCOVER											
	BAC. PIL.	BACCHARIS PILULARIS 'PIGEON POINT'	DWARF COYOTE BUSH	17	1' X 7'	1 GAL	10" X 8"	LOW	FULL & BUSHY TO GROUND, GOOD COLOR	B	L-3.3

PLANTING NOTES

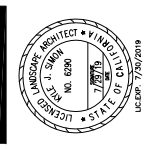
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND STRUCTURES. LANDSCAPE AREAS SHALL BE FINISH GRADED AT A MINIMUM OF 2%.
- LANDSCAPE AREAS SHALL BE FINISH GRADED TO REMOVE ROCKS ONE INCH AND LARGER AND EXCESS SOIL. CONTRACTOR SHALL STOCKPILE EXCESS SOIL AND Haul AWAY AT END OF PROJECT.
- FINISH SOIL SHALL BE 4 INCHES BELOW TOP OF PAVING IN SHRUB AND GROUND COVER AREAS AND 1 INCH BELOW TOP OF PAVING IN LAWN AREAS.
- THE RECOMMENDATIONS OF THE SOILS REPORT FOR AMENDING SOIL SHALL SUPERSEDE ANY RECOMMENDATIONS FROM THE LANDSCAPE CONTRACTOR. CONTRACTOR SHALL SUBMIT AN AGRICULTURAL SUITABILITY AND FERTILITY ANALYSIS OF REPRESENTATIVE SOIL SAMPLES TO THE LANDSCAPE ARCHITECT AND/OR OWNER, OR OWNER'S REPRESENTATIVE PRIOR TO ANY PLANTING WORK.
- ALL PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND/OR OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING. ALL PLANT MATERIAL NOT APPROVED SHALL BE REMOVED FROM THE SITE.
- PLACEMENT OF PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND/OR OWNER OR OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION FOR HOLES.
- TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM STRUCTURES, CENTER OF TRUNK SHALL BE LOCATED A MINIMUM OF 10 FEET FROM WALLS AND CONCRETE IMPROVEMENTS. GROUND COVER SHALL BE LOCATED A MINIMUM AND UNIFORM DISTANCE OF 24 INCHES FROM WALLS AND CONCRETE IMPROVEMENTS. LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- LOCATE AND ALIGN DOUBLE STAKES FOR TREES PERPENDICULAR TO PREVAILING WINDS.
- PLACE A 3 INCH LAYER OF BARK MULCH IN SHRUB AND GROUND COVER AREAS UNLESS OTHERWISE NOTED ON LANDSCAPE CONSTRUCTION PLAN. BARK SHALL BE A "SIFREDDED WALK-ON-BARK". DO NOT PLACE BARK MULCH ON SLOPES GREATER THAN THREE TO ONE (3:1).
- THE MAINTENANCE PERIOD WILL BEGIN ONLY UPON ACCEPTANCE IN WRITING BY THE LANDSCAPE ARCHITECT AND THE OWNER.
- QUANTITIES SHOWN ON PLANTING PLAN ARE FOR THE COMPLETION OF THE CONTRACTOR. PLANT SYMBOLS INDICATED SUPERSEDE QUANTITIES SHOWN.
- CONTRACTOR SHALL INSTALL ROOT BARRIERS FOR ALL TREES WHICH ARE LOCATED WITHIN 10 FEET OF ANY EXISTING OR PROPOSED CONCRETE IMPROVEMENTS. SINGLE SIDING OF TREE IN BOTH DIRECTIONS ALONG CONCRETE IMPROVEMENTS. LENGTH OF ROOT GUARD FOR A SINGLE TREE WOULD BE 16 FEET. ROOT BARRIERS SHALL NOT BE WRAPPED ROOTBALL.

EXISTING PLANT MATERIAL

- IF ANY EXISTING LANDSCAPE TO REMAIN OR TO BE RELOCATED IS DAMAGED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPLACED IN KIND. TREES SHALL BE 36" BOX MINIMUM AND SHRUBS SHALL BE 5 GALLON.

MIN. TREE / IMPROVEMENT SEPARATION DISTANCE:

- TRAFFIC SIGNAL / STOP SIGN - 20 FEET
- UNDERGROUND UTILITY LINES - 5 FEET
- ABOVE GROUND UTILITY STRUCTURES - 10 FEET
- CURBWAYS - 1 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET



PROJECT: LAYLA COURT - SDHC SINGLE FAMILY HOME
 ADDRESS: 4259 LAYLA COURT, SAN DIEGO CA 92154
 DESCRIPTION: SCHEMATIC ADU AND LANDSCAPE

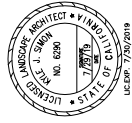
REVISIONS:
 DESIGN REVIEW:
 PLAN CHECK:
 RESPONSE:
 RESPONSE:

ISSUE DATE: 5/01/2018

LANDSCAPE
 PLANTING LEGEND
 AND NOTES
 SHEET NUMBER

L-3.1





PROJECT: LAYLA COURT - SDHC SINGLE FAMILY HOME
 ADDRESS: 4259 LAYLA COURT, SAN DIEGO CA, 92154
 DESCRIPTION: SCHEMATIC ADU AND LANDSCAPE

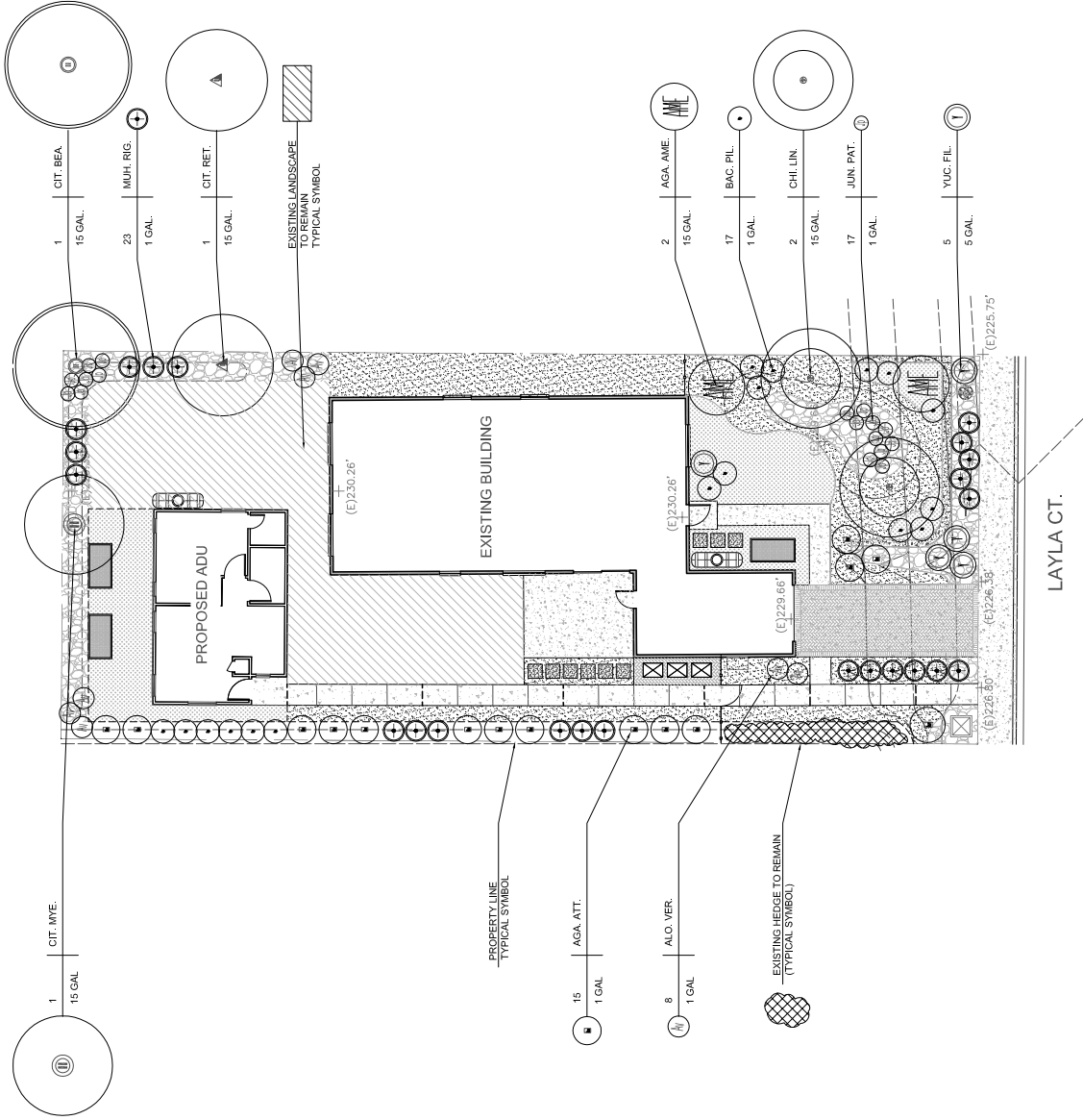
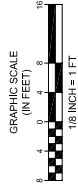
REVISIONS
 DESIGN REVIEW:
 PLAN CHECK:
 RESPONSE:
 RESPONSE:

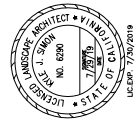
ISSUE DATE: 5/01/2018

LANDSCAPE
 PLANTING PLAN

SHEET NUMBER

L-3.2





PROJECT: LAYLA COURT - SDHC SINGLE FAMILY HOME
 ADDRESS: 4259 LAYLA COURT, SAN DIEGO CA 92154
 DESCRIPTION: SCHEMATIC ADU AND LANDSCAPE

REVISIONS
 DESIGN REVIEW:
 PLAN CHECK:
 RESPONSE:
 RESPONSE:

ISSUE DATE: 5/01/2018

LANDSCAPE
 PLANTING DETAILS

SHEET NUMBER

L-3.3

